

Town of Qualicum Beach
M E M O R A N D U M

TO: Luke Sales, Director of Planning **FOR:** Regular Council Meeting, November 8, 2023

FROM: Rebecca Augustyn, Senior Planner

SUBJECT: Zoning Amendment: 127 and 141 Fifth Avenue East

RECOMMENDATION

1. THAT "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023" be read a second time.
2. THAT Council hold a Public Hearing on December 6, 2023, at 10:00 am at the Qualicum Beach Town Hall, 660 Primrose Street, Qualicum Beach in regard to "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023".

PURPOSE

To consider a zoning amendment application for 127 and 141 Fifth Avenue East that would permit the parcel to be subdivided into two parcels. Two multi-residential buildings currently exist on the parcel and both buildings are proposed to remain, with one building to be located on each of the parcels.

BACKGROUND

The owner of 127 and 141 Fifth Avenue East has submitted an application to amend the zoning for the subject property to permit subdivision of the parcel into two parcels. The subject property is currently zoned Residential 13 (R13) and is designated Mixed Residential 2 in the Official Community Plan and falls within the Development Permit Area M1 - Village Neighbourhood.

Currently there are two apartment buildings on the subject property. Building A has 13 units and Building B has 12 units, with the two buildings having a combined total of 25 rental units. The zoning amendment will change the zoning classification from Residential 13 (R13) to Comprehensive Development Zone 21 (CD21). The CD21 zone is a site-specific, comprehensive zone. Staff have utilized a site-specific zone due to the unique nature of the application. The application is to subdivide the property into two parcels and retain one building on each of the parcels. The number of permitted units will remain unchanged. If an existing zone were to be used instead of a site specific zone, the number of units for the site would increase. Additionally, the Subdivision District would be required to be changed from Subdivision District "E" to Subdivision District "D", which would change the minimum parcel size and permit the parcel to be subdivided into more than two parcels. As well, using an existing zone would not require the existing buildings to be used for rental; however, the CD21 zone requires residential rental tenure and will ensure the units remain rental in the future.

On October 11, 2023 the application went before Council and Council adopted the following motion:

- THAT “Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023” be introduced and read a first time.



Figure 1: Subject Property

DISCUSSION

The proposed zoning change would allow the two apartment buildings to have separate ownership, but physically there would be no change to the building or access. The benefit to the Town through this zoning amendment is that the owner has agreed to apply a “Residential Rental Tenure” to the site, which would ensure that the buildings stay as rental, even if they are redeveloped in the future. Under the current zoning, the buildings could be torn down and/or reconstructed as condominiums.

Following is a comparison of the existing and proposed zoning designation.

Zoning Provision	Zoning Comparison	
	Existing	Proposed Zoning
Zoning	Residential 13 (R13)	Comprehensive Development Zone 21 (CD21)
Permitted Use	Residential Use Home Occupant Use Personal Care Unit	Residential Rental Tenure Home Occupant Use
Density	Lot A: 13 Units Lot B: 13 Units (Includes density bonus)	Lot A: 13 Units Lot B: 12 Units
Height	9.5m	No Change
Front Setback	8.0m	No Change (as per plans)
Interior Side setback	8.0m	No Change (as per plans)
Rear Setback	8.0m	No Change (as per plans)
Parcel Coverage	35%	28% (as per plans)
Parking (Off-street)	1 stall per dwelling unit	No Change

2018 Official Community Plan (OCP):

The property is located within the “Village Neighbourhood” land use designation in the 2018 Official Community Plan (OCP), the area where development, redevelopment and densification are encouraged. Due to the proposal being for subdivision only and not redevelopment, many of the Village Neighbourhood policies are not applicable. Staff have included the applicable policies below.

The Village Neighbourhood General Policies are as follows:

2. The Town shall discourage owners from restricting occupation or ownership of a residential unit because of age.
Staff Comment: It is not anticipated that the zoning amendment will result in age restrictions on the existing rental buildings.
4. In order to support school enrollment, the Town shall explore ways to attract young families to the Town and school catchment area.
Staff Comment: Staff consider the application to align with this provision of the OCP.
7. Through various methods including rezonings, regulatory bylaws, incentive programs and education, the Town shall encourage a diversity of housing to meet the needs of people of all ages, income levels and special needs.
Staff Comment: The proposal is to retain the two existing buildings. Through this zoning amendment, the buildings will be required to be residential rental tenure which will ensure the Town retains these two buildings as rental stock.
8. Through various methods including rezonings, regulatory bylaws, incentive programs and education, the Town shall explore opportunities to improve the energy efficiency of subdivisions and building construction.
Staff Comment: The proposal is to retain the existing buildings and there is no proposed building construction. As such, this policy is not applicable.
11. As part of the off-site works and services related to a building permit or subdivision, the Town shall consider the requirement that owners provide for improvements to the street frontage, including sidewalks, street trees, and street lighting.
Staff Comment: No works and services are required.
12. Buildings should be a maximum of three storeys in height. However, the Town may consider taller buildings on a case-by-case basis with consideration to factors such as topography, solar access, compatibility with adjacent uses, neighbourhood impact, views and community amenities. The Town will also recognize increases in typical ceiling heights in the consideration of height limits.
Staff Comment: Staff consider the application to align with this provision in the OCP.

The following policies are specific to Mixed Residential 2 designation:

1. The Town recognizes existing single-family and two-family dwellings within the area designated as ‘Mixed Residential’, as shown on map ‘Schedule 2.2’.
Staff Comment: The existing buildings are multi-family dwellings.

2. The Town will consider rezonings for multi-family residential uses within the area designated 'Mixed Residential', as shown on map 'Schedule 2.2'.
Staff Comment: The proposal is to retain the existing buildings.
3. The maximum density for multi-family developments in the "Mixed Residential 2" area shall be of up to 80 dwellings/ha. However, the Town will consider density bonuses in order to provide affordable housing, underground parking, 'green' buildings, adaptable design features, public amenities and public open space as part of multi-family residential development within the "Village Neighbourhood".
Staff Comment: Building A contains 13 units and Building B contains 12 units. The proposed density of the two parcels once subdivided will be 57 units/ha and 61 units/ha, respectively.
4. The Town shall develop a suitable multi-family residential zoning for the 'Mixed Residential' area that will encourage small-scale developments in accordance with 'Development Permit Area M1' design guidelines.
Staff Comment: n/a
5. The implementing bylaws and policies of the Town shall ensure that existing trees are retained where possible, as part of the on-site landscape requirements for multi-family residential developments.
Staff Comment: No changes are proposed to the existing buildings and as such no tree removal will occur.
6. Sidewalks, curbs and gutters, grass boulevards, trees, and pedestrian-friendly streetscapes shall be encouraged as part of multi-family developments.
Staff Comment: No changes to the site or street works are proposed at this time.
7. Building designs and site development for multi-family residential developments shall conform to the 'Development Permit Area M1' design guidelines.
Staff Comment: There are no proposed changes to the existing building form and character.
8. The Town shall develop more detailed design guidelines for 'Development Permit Area M1'. After development of design guidelines, the densities for Mixed Residential 1 and Mixed Residential 2 should be reviewed to ensure compatibility with the design guidelines.
Staff Comment: No changes to the building form and character are proposed.

Advisory Planning Commission

Staff are not recommending this application be sent to the Advisory Planning Commission (APC) due to there being no changes proposed to the existing buildings. Council has the option to send the application to the APC, with specific instructions for what input Council is seeking from the APC. Alternative #1 provides this option.

SUMMARY

An application has been received to amend the zoning for 127 and 141 Fifth Avenue East from R13 to CD21 to permit the parcel to be subdivided into two parcels, with an existing building to be retained on each of the parcels. Staff recommend a new, site-specific zone due to the unique nature of the proposal. As part of the CD21 zone, staff recommend Residential Rental Tenure be a permitted use to ensure the units remain rental in the future, regardless of external factors. In the opinion of staff, the application aligns with the OCP, and staff recommend that the zoning amendment be read a second time and a Public Hearing be scheduled for December 6, 2023.

ALTERNATIVES

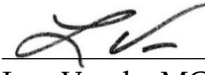
1. THAT "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023" be referred to the Advisory Planning Commission *[insert instructions]*;
2. THAT "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023" be denied;
3. THAT Council requests the following changes to the zoning amendment application for 127 and 141 Fifth Avenue East: *[insert changes]*; or,
4. THAT Council provides alternative direction to staff.



R. Augustyn, MCIP, RPP
Senior Planner
Report Writer



Luke Sales, MCIP, RPP
Director of Planning
Concurrence



Lou Varela, MCIP, RPP
CAO
Concurrence

Attachments:

[BYLAW.580.139.127&141FifthAveE\(CD21\).docx](#)
[memo.PLANS.127&141FifthAvenueE.pdf](#)
[memo.PLANS.Conceptmap.127&141FifthAveE.pdf](#)

**TOWN OF QUALICUM BEACH
BYLAW NO. 580.139**

**A BYLAW TO AMEND THE TOWN OF QUALICUM BEACH
LAND USE AND SUBDIVISION BYLAW NO. 580, 1999**

WHEREAS the Council may, under Section 479 of the *Local Government Act*, divide the municipality into zones, regulate within a zone the use of land, buildings and structures, the density of use of land, buildings and structures, and the siting, size and dimensions of buildings and structures and may, under Section 482 of the *Local Government Act*, establish different density regulations for a zone depending on whether conditions relating to the provision of amenities or affordable or special needs housing are met, and may designate an area within a zone for particular types of housing, and

WHEREAS the owner of the land described in this Bylaw has consented to the designations set out in the Bylaw;

The Council of the Town of Qualicum Beach, in open meeting lawfully assembled, hereby enacts as follows: "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999" is hereby amended as follows:

1. "Part 6 - Land Use Regulations" is hereby amended by adding 'Section 6.4.30.17 Comprehensive Development Zone 21', as shown on Schedule 'A' which is attached to, and forms part of, this Bylaw.
2. "Schedule 6A - Zoning Map" is hereby amended by changing the zoning designation of Lot 1, District Lot 78, Newcastle District, Plan 33368 from Residential 13 (R13) to Comprehensive Development Zone 21 (CD21) as shown outlined in heavy black line on Schedule 'B' which is attached to, and forms part of, this Bylaw.
3. Part 2 - Interpretation, Section 2.1 Definitions is hereby amended by adding the following definition: "Residential Rental Tenure means the granting of a right to occupy a Dwelling Unit as living accommodation where the minimum occupancy period is thirty consecutive days, and where the Dwelling Unit is not owned by a Dwelling Unit occupant, but where regular payments are made to the owner for the use of the Dwelling Unit."

This Bylaw may be cited as "Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999 Amendment (127 and 141 Fifth Avenue East) Bylaw No. 580.139, 2023."

INTRODUCED FOR FIRST READING this 11th day of October, 2023.

READ A SECOND TIME this day of, 2023.

Notice published pursuant to Section 466 of the *Local Government Act* on the day of, 2023, and the day of, 2023.

PUBLIC HEARING this day of, 2023.

READ A THIRD TIME this day of, 2023.

ADOPTED this day of, 2023.

Teunis Westbroek, Mayor

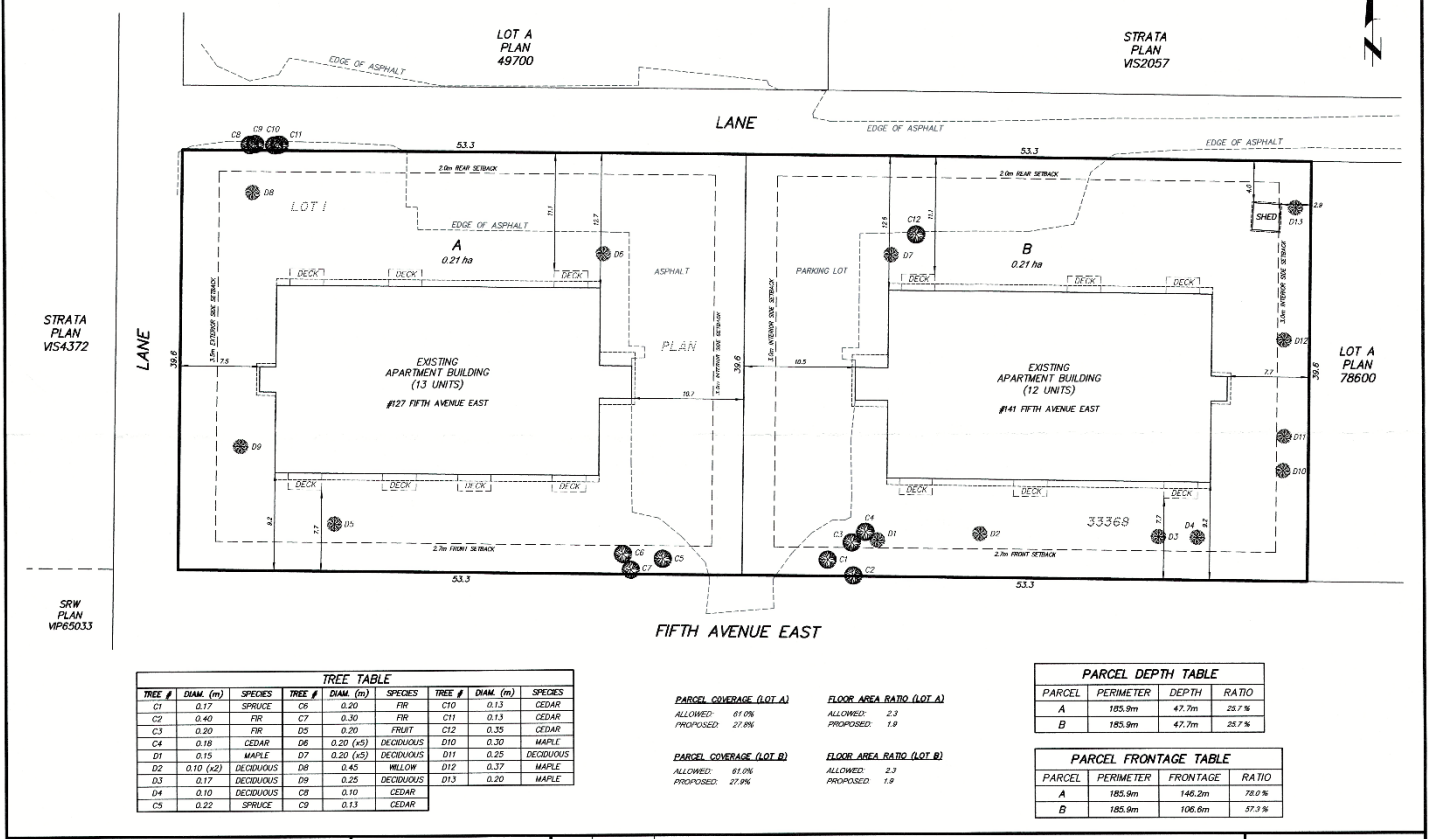
Heather Svensen, Corporate Administrator

Schedule 'A' – Bylaw No. 580.139

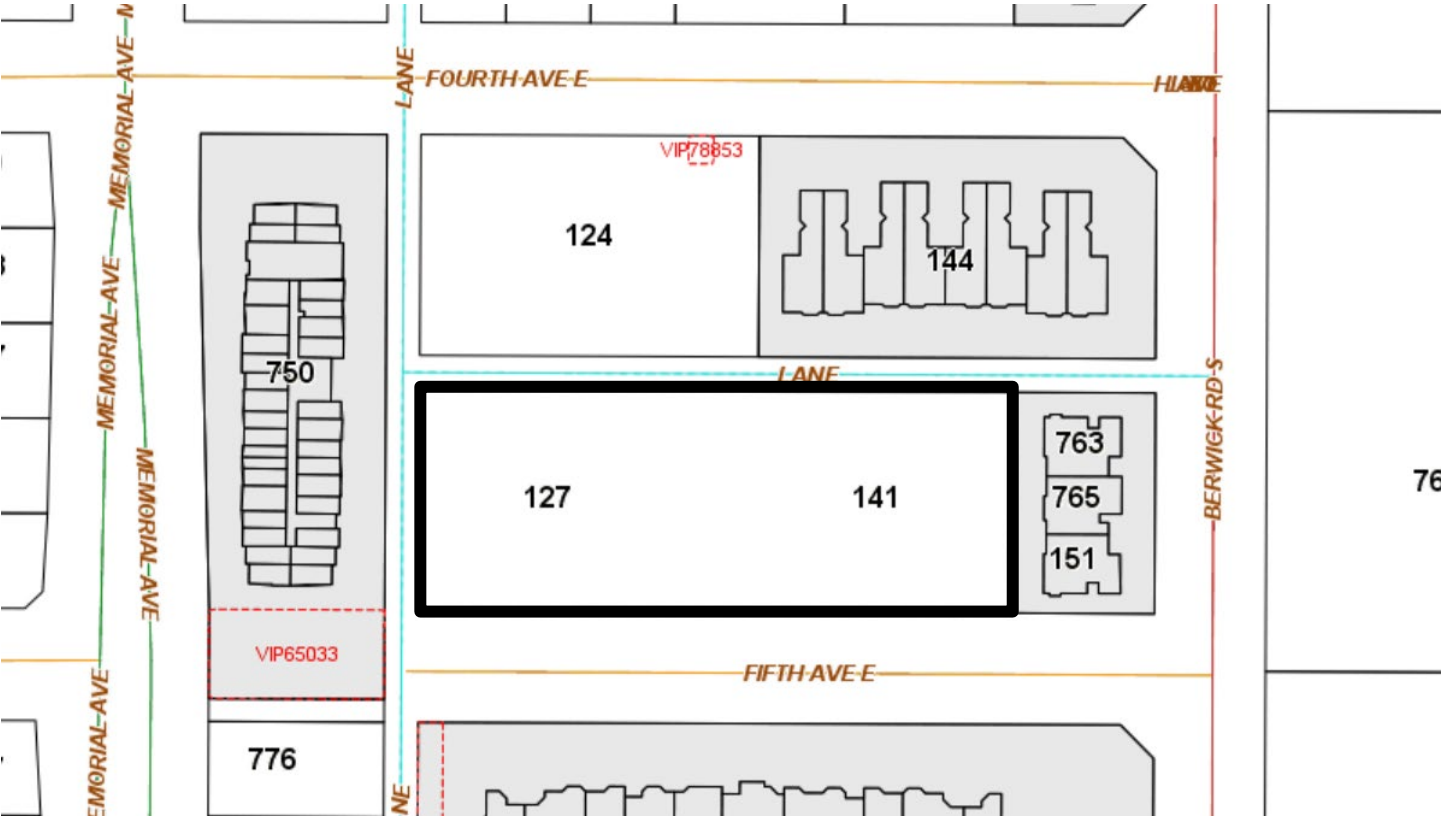
Section 6.4.30.17		(580.139)
Comprehensive Development Zone 21		CD21
Permitted Uses and Minimum Site Area		
Permitted Use		Required Site Area
a) Residential Rental Tenure		n/a
b) Home Occupation		n/a
Maximum Number and Size of Buildings and Structures		
Accessory buildings	- n/a	
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as 'Site Plan'	
Height		
- Principal building		
- Interior heated space		7.3 m
- Ridge of gable, hip or gambrel sloped roof		9.5 m
- Mansard roof		
- Deck line		8.0 m
- Top of roof		9.0 m
- Flat roof		8.0 m
Parcel Coverage		35%
Minimum Setback Requirements		
As shown in the site plan attached as 'Site Plan'		
Except:		
a. where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3 of this Part shall apply.		
That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6 m into any required setback area.		
Subdivision District		
Notwithstanding the minimum Parcel size specified in Schedule '7B', the minimum parcel size for property within the 'Comprehensive Development Zone 21' shall be 2000m ² .		

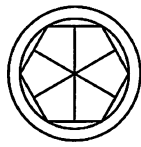
PROPOSED SUBDIVISION PLAN OF LOT 1, DISTRICT LOT 78, NEWCASTLE DISTRICT, PLAN 33368.**SCALE 1:250**

0 5 10 15 20 25
 THE INTENDED PLOT SIZE IS 560mm IN WIDTH AND 432mm
 IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250.

Site Plan

Schedule 'B ' - Bylaw No. 580.139





PRISM
LAND SURVEYING LTD.

Our file: 23-070-S

2023-08-02

Town of Qualicum Beach
201-660 Primrose Street
Qualicum Beach, B.C. V9K 1S4

Attention: Luke Sales

Date Received

AUG 04 2023

File No.

3320-20-1318



Acknowledgement

and



Copy



Response

Letter

✓
LS/RA/ME

Dear Luke:

**RE: Zoning Amendment Application for Lot 1 District Lot 78 Newcastle District Plan 33368
127 and 141 Fifth Avenue East, Qualicum Beach**

On behalf of our client, Bill Goold, President of Taylan Holdings Ltd., we are applying for a zoning amendment to the above property. Our client would like to rezone in order to facilitate a 2 lot subdivision so the two existing apartment buildings will each have separate titled ownership.

BACKGROUND

The apartment buildings were built in approximately 1980, and the apartments have been owned by the current owner since 1994. The owner has advised that 127 Fifth Avenue East contains 13 units, and 141 Fifth Avenue East contains 12 units. All the units are rental units and would continue to be rented after subdivision.

The property is bound by Fifth Avenue East to the south, laneway to the north and west, and an R11 zoned property to the east. Shared access to the apartment buildings is from Fifth Avenue East and alternate access from the laneway is also used.

PROPOSAL

Attached is the Proposed Subdivision Plan prepared by Prism Land Surveying. The property is currently zoned Residential 13 (R13) and is identified as Mixed Residential 2 in the Town of Qualicum Beach Official Community Plan (OCP). The OCP defines the Mixed Residential 2 areas as "the residential portion of the Village Neighbourhood that is closest and most accessible to the uptown. The proximity and convenience of this area makes it well-suited for more residential density than the other parts of the Village Neighbourhood". Maximum density of up

to 80 units per hectare is supported in the OCP. The proposed parcel size of each lot is 2100m². Based on existing dwelling units, the following are density calculations for each lot:

Proposed Lot A: 13 units = 61 dwellings/ha

Proposed Lot B: 12 units = 57 dwellings/ha

Therefore, the density after subdivision would be within the maximum density requirements.

As discussed, we will work with the Town of Qualicum Beach to determine the most appropriate zone for this amendment. For application purposes, we have demonstrated the R20 zone on the Proposed Subdivision Plan. After subdivision, the R20 zone would accommodate the existing density of the apartment buildings, and also keep in line with the density targeted in the OCP. The R20 zone complies with allowed parcel coverage, floor area ratios, parcel width, parcel depth, and building height requirements for each lot after subdivision. Therefore, we anticipate no variances would be required to the R20 zone.

No renovations or additions to the buildings are proposed.

For the owner, Bill Goold, the purpose of the rezoning is for estate planning. Bill has two sons and he would like to create two separate titles so each of his sons would be responsible for the ownership and maintenance of one of the apartment buildings.

CIVIL ENGINEERING

In anticipation of this proposal, Newcastle Engineering Ltd. (Newcastle) has prepared a Preliminary Servicing Review dated July 28, 2023.

Watermains: Newcastle confirmed each building has its own metered connection and that the rezoning application will not add additional demand to the downstream capacity.

Fire Flow Requirements: Newcastle confirmed the existing hydrant layout is not compliant with Town of Qualicum Beach Bylaw 545. Newcastle expects the construction of an additional hydrant on Fifth Avenue East will be a condition of subdivision. Costs for the hydrant would be paid for by the owner.

Sanitary Sewer: Based on conversations with the Town of Qualicum Beach's Engineering Department, Newcastle understands no upgrades would be required as the property does not have a history of sewer servicing issues.

Storm Drainage: Newcastle states: "Our understanding is that the Town of Qualicum Beach will require on-site storm water upgrades as a condition of subdivision for this property. There is currently no storm sewer connection to this property, however, based on conversations with the Town of Qualicum Beach's Engineering Department, we expect that we will be able to

achieve their requirements without extending a storm sewer connection to the northern portion of the property. Rather, we expect that through the implementation of rain gardens, and rock pits, we will be able to achieve the detention requirements to satisfy the Town of Qualicum Beach”.

Final engineering drawings would be submitted to the Town of Qualicum Beach’s Engineering Department for approval at subdivision stage.

PARKING

The proposal meets the required parking spaces for each proposed lot, according to the number of dwelling units.

TREE RETENTION

Existing tree locations are shown on the Proposed Subdivision Plan. No removal of trees will be proposed.

ENCLOSURES

In support of this application, we enclose the following:

- Application fee in the amount of \$4000, payable to the Town of Qualicum Beach
- Bylaw Amendment Application Form
- Letter of Authorization
- Title search
- Corporate Search
- Proposed Subdivision Plan prepared by Prism Land Surveying Ltd.
- Newcastle Engineering Ltd. Preliminary Servicing Report dated July 28, 2023
- Pictures of existing buildings and streetscape for context

We look forward to working with you on this project. We anticipate conversations regarding specifics for the new zone. In the meantime, if you have any questions or comments, please feel free to contact me.

Best regards,



Rachel Hamling
Land Development Consultant

Enclosures



**NEWCASTLE
ENGINEERING LTD.**

#3-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5

PHONE: (250) 756-9553 FAX: (250) 756-9503

1285-001

July 28, 2023

Goold,
Attn.: Mr. Bill Goold,
7270 Bayview Road,
Lantzville, B.C., V0R 2H0

Dear Sir:

**Re: Proposed Rezoning Application,
127/141 Fifth Avenue E, Qualicum Beach, B.C.
Preliminary Servicing Review**

As requested, we have reviewed the services available to the above referenced property from the perspective of their ability to accommodate the existing apartment buildings on the subject property.

As we understand it, the goal of this project is to rezone the current property, to allow it to be ultimately subdivided into two parcels each that will contain one of the existing apartment buildings. Renovations to the existing buildings are not expected.

According to our review of Qualicum Beach Map the current zoning of the subject property is R13. Our understanding is that the target zoning is either R17 or R20 (to be confirmed by the Town of Qualicum Beach).

Based on conversations with the Owner of both buildings, we understand the existing multi residential building on #127 Fifth Ave E contains 13 units and the existing multi residential building on #141 Fifth Ave E contains 12 existing units.

The servicing comments have been separated by service type as detailed below.

Design Population Density

Newcastle Engineering has adopted an assumed population density of 1.7 persons per unit due to the absence of a prescribed population density for multi-family residential complexes within the Town of Qualicum Beach's Engineering Standards (Bylaw No. 545, 1994). Therefore, the population for property #127 Fifth Ave E and #141 Fifth Ave E has been assumed to be 22.1 persons (13 units) and 20.4 persons (12 units), respectively.

Watermains

Both properties are currently serviced from a 150Ø FR-PVC watermain that runs along their southern frontage with Fifth Avenue East. Based on the service cards available, each building has its own metered 38mm connection.

Based on the assumed population densities (detailed above) and water design rates stipulated within the Town of Qualicum's Engineering Standards, Newcastle Engineering Ltd calculates the peak hourly demand for properties #127 Fifth Ave E and #141 Fifth Ave E to be 0.52 l/s and 0.48 l/s, respectively. These correspond to expected maximum velocities demand for properties #127 Fifth Ave E and #141 Fifth Ave E to be 0.46 m/s and 0.43 m/s, respectively. These values are less than the maximum allowable velocity of 3.5 m/s referenced by the Master Municipal Construction Design 2022 guidelines (MMCD).

The estimated maximum daily demand for property #127 Fifth Ave E and #141 Fifth Ave E is 39.34 m³/day and 36.31 m³/day respectively. As the land use of the properties is assumed to remain unchanged it is expected that the rezoning application will not add additional demand to the downstream capacity.

Fire Flow Requirements

A preliminary fire flow calculation based on the Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada (2020) indicates the theoretical fire flow demands for properties #127 Fifth Ave E and #141 Fifth Ave E to be 166.7 l/s and 183.3 l/s respectively.

Given the current absence of network information available we have not been able to confirm the fire flow and pressure capacities available from the Town of Qualicum's watermain network at this location, but it is our understanding that the Town of Qualicum will confirm the available fire flow and pressures as part of their review to advance this rezoning request.

As indicated by the Qualicum Online Maps, the nearest fire hydrants are located; approximately 20m southwest of the southwest corner of #127 Fifth Ave E, and 61m southeast of the southeast corner of #141 Fifth Ave E. The approximate distance between the above hydrants is approximately 160m. The Town of Qualicum Beach Bylaw 545 requires a maximum hydrant spacing of 90m for multi family residential land zones and a maximum distance of 50m between hydrant and multi family residential building. Therefore, the existing hydrant layout is not compliant, and Newcastle Engineering Ltd expects that the installation of an additional hydrant on Fifth Ave E would be required as a condition of the subdivision and at the cost of the Developer.

Sanitary Sewer

There is a 200Ø PVC sanitary sewer main in Fifth Ave E that runs parallel to both properties southern frontages. A preliminary above ground site investigation suggests each building is serviced independently by separate 100Ø PVC connections into the above referenced sewer main.

It should be noted that the Municipal service records (dated December 1979) show seven 100Ø PVC sanitary sewer connections into the previously amalgamated property. However, a preliminary above ground investigation suggests that only two of the seven are currently being utilised.

Based on the assumed population densities for the buildings and applying the required peaking factor and infiltration allowance, our preliminary calculations indicate a design sanitary sewage flow for property #127 Fifth Ave E and #141 Fifth Ave E. to be of 0.43 l/s and 0.40 l/s respectively. As the land use of the properties is expected to remain unchanged, it is assumed that the rezoning application will not add additional demand to the downstream capacity, however confirmation of this will be required by the Town of Qualicum.

It should also be noted that the above design flow calculation was performed utilising the methods and parameters stipulated in the Master Municipal Construction Design Guidelines (MMCD). This is due to the peak unit flow rates referenced within the Town of Qualicum's Engineering Standards are not applicable for contributory populations less than 100 persons.

Qualicum Beach Bylaw No. 545 stipulates service connections serving more than two dwelling units shall be a minimum of 150Ø and therefore the existing connections (referenced above) are not compliant. However, based on our conversation with the Engineering Department of Qualicum Beach, and a history of no sewer servicing issues, it is our understanding that an exemption will be granted, and the existing services will not be required to be upgraded.

Storm Drainage

The buildings currently contribute approximately 610 m² of impervious area to the overall site each. The asphalt parking area shared between both buildings contributes an additional 1100 m² of impervious area. This results in a total impervious area of approximately 2320m² and a pervious area of approximately 1900m² that consisting of largely lawn and gardens. Overall, the site consists of 55% impervious area by total area.

Roof captured rainwater from property #141 Fifth Ave E appears to be discharged through a mixture of subsoil drainage and directly to lawned and garden sections. While roof captured rainwater from property #127 Fifth Ave E appears to be discharged solely to the lawned and gardened sections.

The flow path of asphalt area (approx. 800m²) located between the buildings appears to flow to the north of the site to an offsite catch basin within the lane to the north. There appears to be a 75mm pipe entering this catch basin and runs directly south under the asphalted area. It is currently unclear where this undocumented pipe leads to. This catch basin did not appear to be connection to the Town of Qualicum Beach's storm sewer network.

The flow path for the perpendicular parking located north of #127 Fifth Ave E (approx. 150m²) appears to flow to the west into and into an offsite catch basin outside of #750 Memorial Ave. Whereas, the flow path for the perpendicular parking located to the north of #141 (approx. 150m²) appears to flow to the north and into an offsite formed swale that leads into the municipal 450Ø CSP along Berwick Rd S.

At present there is a formed swale that runs west to east along the southern frontage of both property boundaries. This swale transitions into a 250Ø PVC pipe near the eastern property boundary of property #141 Fifth Ave E and is conveyed north into the 450Ø CSP storm sewer main mentioned above. However, due to the grading of the site it appears that minimal site runoff enters this swale.

Our understanding is that the Town of Qualicum Beach will require on-site storm water upgrades as a condition of subdivision for this property. There is currently no storm sewer connection to this property, however, based on conversations with the Town of Qualicum Beach's Engineering Department, we expect that we will be able to achieve their requirements without extending a storm sewer connection to the norther portion of the property. Rather, we expect that through the implementation of rain gardens, and rock pits, we will be able to achieve the detention requirements to satisfy the Town of Qualicum Beach. A topographic survey will be required in advance of a detailed storm water management plan.

Roadways and Access

Both #127 Fifth Ave E and #141 Fifth Ave E are currently accessible from Fifth Ave E via a shared entrance on their southern frontage. There is also a lane at both properties northern extents which provides alternative access.

Based on conversations with the Planning and Engineering Department at the Town of Qualicum Beach, we do not expect any frontage upgrades to be required as a condition of subdivision.

B.C. Hydro/Telus/Shaw Communications/FortisBC Gas/Streetlighting

There are existing overhead B.C. Hydro and Communications lines along the northern side of Fifth Ave East which runs along the southern frontage of both #127 Fifth Ave E and #141 Fifth Ave E. These services are connected to the buildings via an overhead connection and there is a streetlight on the power pole immediately south of #127 Fifth Ave E. It is the intention of the Developer to have the above services remain as is.

Yours truly,
Newcastle Engineering Ltd.



Kailen Elander, P.Eng.



#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5

PHONE: (250) 756-9553

FAX: (250) 756-9503

Project:

127/141 Fifth Avenue E

File:

1285-001

Date:

2023-07-28

Engineer:

Kailen Elander

Fire Flow Calculation Sheet

127 Fifth Avenue East

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood frame					1.50	-
Ground Floor Area: (m ²)	-					540	-
Number of stories	-					2	-
Total Effective Area (m ²)	-					1080.0	-
Required Fire Flow (LPM)	F = 220 * C * √A (rounded to nearest 1000LPM)					11000	11000
Type of Occupancy:	Residential					-15%	9350
Sprinkler Reduction	Automatic sprinkler					-	0
	Standard water supply					-	
	Fully supervised system					-	
	Community level sprinkler bylaw					-	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		
	North	27	45	3	Type V (Sprinklered)	5%	1122
	West	21	70	3	Type V (Sprinklered)	5%	
	South	>30	-	-	-	0%	
	East	27	19	2	Type V	2%	
TOTAL FIRE FLOW REQUIRED (LPM)							10472
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							10000
TOTAL FIRE FLOW REQUIRED (LPS)							166.7
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)				N/A			
Will sprinkler system be wet or dry				N/A			
Will sprinkler system contain anti freeze or chemical additive				N/A			
Backflow protection description				N/A			
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant				60m			

Notes

Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey





#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5

PHONE: (250) 756-9553

FAX: (250) 756-9503

Project:

127/141 Fifth Avenue E

File:

1285-001

Date:

2023-07-28

Engineer:

Kailen Elander

Fire Flow Calculation Sheet

141 Fifth Avenue East

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood frame					1.50	-
Ground Floor Area: (m ²)	-					540	-
Number of stories	-					2	-
Total Effective Area (m ²)	-					1080.0	-
Required Fire Flow (LPM)	$F = 220 \cdot C \cdot \sqrt{A}$ (rounded to nearest 1000LPM)						11000
Type of Occupancy:	Residential					-15%	9350
Sprinkler Reduction	Automatic sprinkler					-	0
	Standard water supply					-	
	Fully supervised system					-	
	Community level sprinkler bylaw					-	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		
	North	25	59	1	Type V	4%	1590
	West	21	19	2	Type V	2%	
	South	>30	-	-	-	0%	
	East	13	33	1	Type V	11%	
TOTAL FIRE FLOW REQUIRED (LPM)							10940
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							11000
TOTAL FIRE FLOW REQUIRED (LPS)							183.3
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)				N/A			
Will sprinkler system be wet or dry				N/A			
Will sprinkler system contain anti freeze or chemical additive				N/A			
Backflow protection description				NA			
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant				95m			

Notes

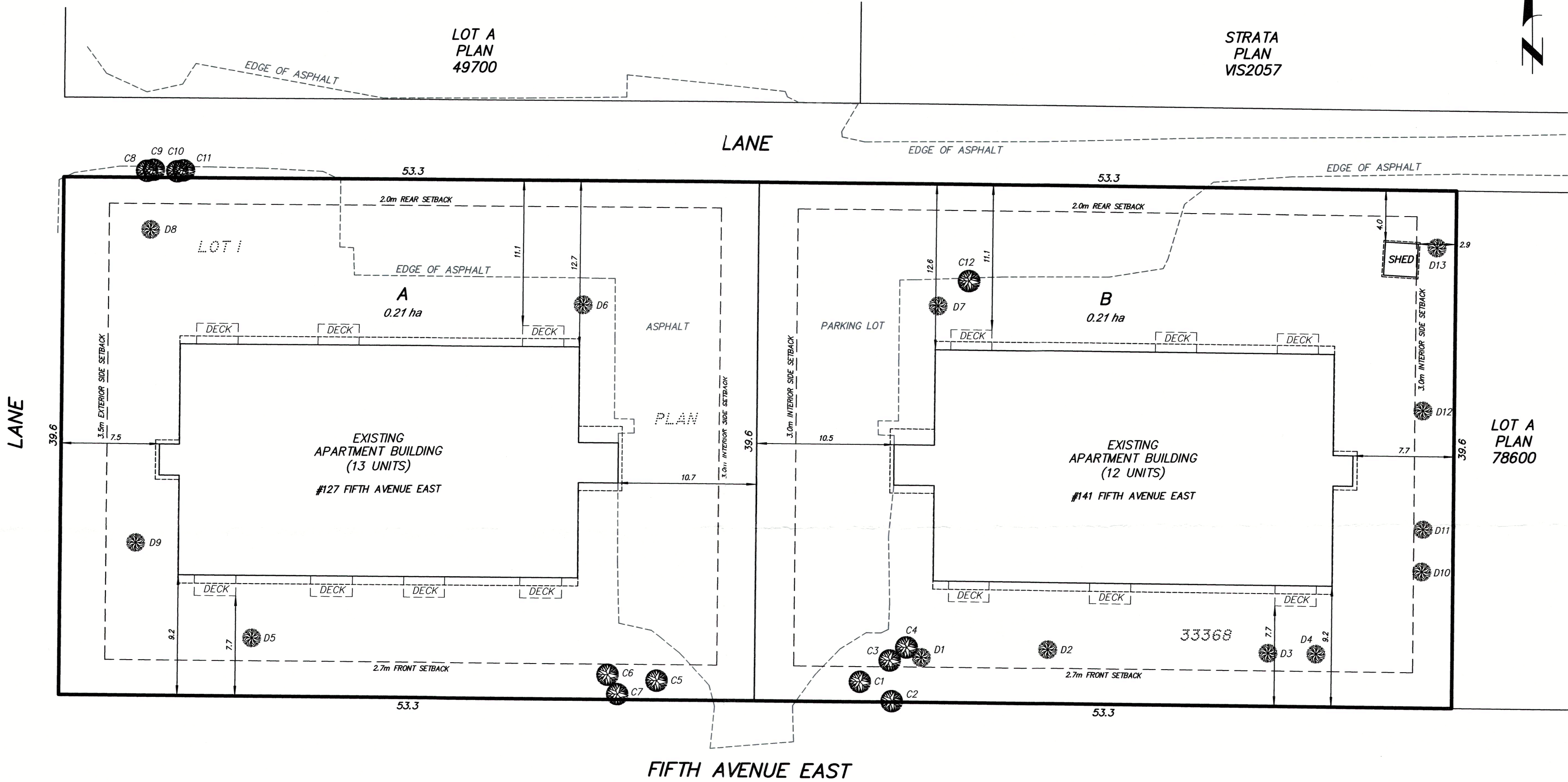
Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey



PROPOSED SUBDIVISION PLAN OF LOT 1, DISTRICT LOT 78, NEWCASTLE DISTRICT, PLAN 33368.

SCALE 1:250

0 5 10 15 20 25
THE INTENDED PLOT SIZE IS 560mm IN WIDTH AND 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250.



TREE TABLE								
TREE #	DIAM. (m)	SPECIES	TREE #	DIAM. (m)	SPECIES	TREE #	DIAM. (m)	SPECIES
C1	0.17	SPRUCE	C6	0.20	FIR	C10	0.13	CEDAR
C2	0.40	FIR	C7	0.30	FIR	C11	0.13	CEDAR
C3	0.20	FIR	D5	0.20	FRUIT	C12	0.35	CEDAR
C4	0.18	CEDAR	D6	0.20 (x5)	DECIDUOUS	D10	0.30	MAPLE
D1	0.15	MAPLE	D7	0.20 (x5)	DECIDUOUS	D11	0.25	DECIDUOUS
D2	0.10 (x2)	DECIDUOUS	D8	0.45	WILLOW	D12	0.37	MAPLE
D3	0.17	DECIDUOUS	D9	0.25	DECIDUOUS	D13	0.20	MAPLE
D4	0.10	DECIDUOUS	C8	0.10	CEDAR			
C5	0.22	SPRUCE	C9	0.13	CEDAR			

PARCEL COVERAGE (LOT A)

ALLOWED: 61.0%
PROPOSED: 27.8%

FLOOR AREA RATIO (LOT A)

ALLOWED: 2.3
PROPOSED: 1.9

PARCEL COVERAGE (LOT B)

ALLOWED: 61.0%
PROPOSED: 27.9%

FLOOR AREA RATIO (LOT B)

ALLOWED: 2.3
PROPOSED: 1.9

PARCEL DEPTH TABLE

PARCEL	PERIMETER	DEPTH	RATIO
A	185.9m	47.7m	25.7 %
B	185.9m	47.7m	25.7 %

PARCEL FRONTAGE TABLE

PARCEL	PERIMETER	FRONTAGE	RATIO
A	185.9m	146.2m	78.0 %
B	185.9m	106.6m	57.3 %

NOTES:

THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH PROPERTY BOUNDARIES.
ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED AND ARE DERIVED FROM PLAN 33368.
JURISDICTION: TOWN OF QUALICUM BEACH
PROPOSED PARCEL ZONING: RESIDENTIAL 20 (R20)
PID NO: 000-236-403
THIS LOT IS SUBJECT TO LTO CHARGE NUMBER: M76300
CIVIC ADDRESS (LOT A): #127 FIFTH AVENUE EAST, QUALICUM BEACH, BC
CIVIC ADDRESS (LOT B): #141 FIFTH AVENUE EAST, QUALICUM BEACH, BC

LEGEND

DL DENOTES DISTRICT LOT
REM DENOTES REMAINDER
ha DENOTES HECTARES
--- DENOTES ROOF OVERHANG
C1 DENOTES CONIFEROUS TREE LOCATION AND NUMBER
D1 DENOTES DECIDUOUS TREE LOCATION AND NUMBER

No.	DATE	REVISION
1	2023/05/24	INITIAL PROPOSAL
2	2023/08/03	ADDED TREES

PRISM
LAND SURVEYING LTD.
223 FERN ROAD W.
QUALICUM BEACH, B.C. V9K 1S4
PHONE: 250-752-9121
FAX: 250-752-9241
FILE NUMBER: 23-070-S
DRAWING NUMBER: 23-070 P2.DWG
DATE: 2023/08/03



On Fifth Avenue East Looking Northwest Towards 141 Fifth Avenue East
(East Building)



On Fifth Avenue East Looking Northwest Towards 127 Fifth Avenue East
(West Building)



Looking South Between Buildings From Back Lane



ZONING CONTEXT MAP

